

ROOF INSPECTION REPORT



Inspector: Tina Kirkpatrick
TK Contracting & Consulting Inc.

xxx Near me St, Neverland CA 94xxx
Inspection Prepared For: Sam Super
Agent: Not Applicable -

Date of Inspection: 7/22/2026
Year Built: 1930 Size: 1500
NACHI24041526 / CLSB #1158251

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Report Introduction

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report if you have any questions. Remember, when the inspection is completed and the report is delivered, we are still available for any questions you may have.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

Video In Your Report -The inspector may have included videos of issues within the report. If you are opening the PDF version of the report make sure you are viewing the PDF in the free Adobe Reader PDF program. If you're viewing the report as a web page the videos will play in any browser. Click on any video within the report to start playing.

Throughout the report we utilize icons to make things easier to find and read. Use the legend below to understand each rating icon.



Good/Satisfactory - This item was inspected and is in good or satisfactory condition for it's age and use.



Maintenance/Repair/Monitor - Items with this rating should be examined by a professional and be repaired or replaced.



Safety Issue - Items with this rating should be examined immediately and fixed. Even though the item is marked as a safety issue it could be a very inexpensive fix. Please make sure to read the narrative to completely understand the issue.



Not Inspected/Deferred - Items with this rating were not able to be fully inspected because access was blocked off or covered, were not on the scope of the inspection or hi-tech systems.

Our report contains a unique pop-up glossary feature. When you see words **highlighted in yellow** hover your mouse over the term. The definition or a tip about the item will appear!



Report Summary

This report contains the findings of a visual inspection of the readily accessible components of the property at the time of inspection. The purpose of the inspection is to identify material defects, safety concerns, and items that may require repair, replacement, monitoring, or further evaluation. While many components appeared functional, no home is without maintenance needs. Clients are encouraged to review the entire report, including photographs and recommendations, and consult qualified specialists as needed prior to the close of escrow. This summary is provided as a convenience and should not be considered a substitute for reviewing the complete inspection report. In some of the narratives, we can suggest standard repair and maintenance tips.

Safety/Item of Concern		
Roof Components		
Page 14 Item: 3	Skylights	• There is a crack, or multiple cracks, in a skylight that should be addressed by a qualified specialist. Our office can facilitate this service upon request to ensure proper replacement and maintain the integrity and safety of the skylight. • There is evidence of moisture intrusion at the interior of a skylight. We recommend replacing the skylight before rain season.
Attic		
Page 20 Item: 5	Interior	• Moisture stains were observed on the attic framing and sheathing. The staining near the skylight appeared consistent with an active leak at the time of the inspection. Prompt replacement of the skylight is recommended to help prevent continued moisture intrusion and reduce the potential for further damage to the roof structure and interior finishes. After repairs are completed, the affected attic areas should be monitored to confirm the leak has been successfully corrected.

Maintenance/Repair/Preventive/Monitor		
Property Roof		
Page 8 Item: 2	Roof Access	• The solar panels were observed to be dirty. Accumulated dirt, dust, pollen, bird droppings, and other debris can reduce the efficiency and energy production of the solar photovoltaic system. Periodic cleaning and routine maintenance, following the manufacturer's recommendations, are advised to help maintain optimal performance.

Materials and Condition		
Page 10 Item: 1	Composition Shingle	• FOLIAGE NOTED: Foliage was observed growing over or in proximity to the roof. Overhanging vegetation can accelerate roof wear, trap moisture, obstruct drainage, and provide access for pests. Recommend trimming back vegetation to maintain adequate clearance from the roof and help prolong the life of the roofing system. • DEBRIS ON THE ROOF: Leaves and debris were observed in portions of the roof near the chimney. Accumulated debris can impede proper drainage, trap moisture, and accelerate deterioration of roofing materials. Recommend cleaning the affected areas and maintaining the roof free of debris to help ensure proper roof drainage and prolong the life of the roofing system.
Roof Components		
Page 15 Item: 4	Roof Drainage	• The roof gutters require cleaning to function effectively. Regular maintenance will help ensure proper drainage and prevent water damage to the property. • Some downspouts are missing or need to be reconnected or serviced. This will divert water away from the residence and its foundation to prevent moisture under the home and reduce the chance of the foundation settling. • We recommend you have diverters or splash blocks installed at the bottom of all downspouts or have downspouts connect to underground drain lines. This will divert water away from the residence and its foundation to prevent moisture under the home and reduce the chance of the foundation settling.
Attic		
Page 20 Item: 4	Vent Screens	• Vent screens noted painted over. The screens covering the vent openings were painted over in some areas, which reduces the amount of air flow/circulation through the attic. You may therefore wish to have the screens cleaned or replaced.

Not Inspected/Deferred		
Property Roof		
Page 8 Item: 2	Roof Access	• The roof is equipped with photovoltaic (solar) panels, which limit visibility and access to portions of the roof covering beneath and adjacent to the panels. As a result, certain areas of the roofing system could not be fully inspected. This limitation should be considered when evaluating the overall condition of the roof, as concealed deficiencies may exist in areas obstructed by the solar equipment.

Structure and Framing Type		
Page 17 Item: 1	Roof	• Portions of the roof structure were concealed by attic insulation. The condition and integrity of the framing and supports could not be fully evaluated. Concealed conditions may exist.



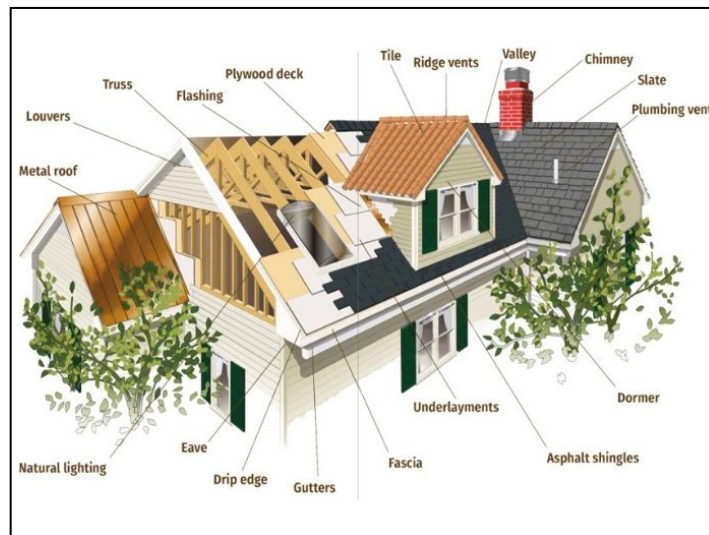
Inspection Details

1. Inspection Scope

Observations:

- **Scope of Roof Inspection.**

This roof inspection consisted of a limited, visual evaluation of the readily accessible roofing system and its visible components at the time of the inspection. The inspection is intended to identify observable deficiencies, damage, deterioration, and conditions that may affect the roof's performance. It is non-invasive and does not include destructive testing, moisture testing, concealed areas, or determination of remaining service life, watertightness, future performance, code compliance, or hidden defects. Areas that were inaccessible, concealed, or unsafe to inspect were excluded. This report reflects the visible condition of the roofing system only on the date of the inspection. Further evaluation and repair by a qualified roofing contractor is recommended for any deficiencies noted, and routine maintenance and periodic inspections are advised to help maximize the roof's performance and service life.



2. Attendance

In Attendance:

- The Inspector present
- Client present
- Selling Agent present

3. Home Type

Home Type: Single Family Home

4. Occupancy

Occupancy:

- Vacant - Unfurnished

Property Roof

1. General Comments

Observations:

• **SLOPED ROOF:** The property features a sloped (pitched) roof designed to shed water efficiently and protect the structure from weather-related moisture intrusion. The service life of a roofing system is influenced by several factors, including the roof's pitch, the type and quality of the roofing material, installation methods, maintenance practices, exposure to sunlight, and environmental conditions such as wind, rain, snow, ice, and overhanging tree branches. Common roofing materials used on sloped roofs include asphalt shingles, concrete or clay tiles, wood shakes, slate, metal roofing systems, and various composite products. Regular inspections and maintenance are recommended to help maximize the roof's performance and longevity.

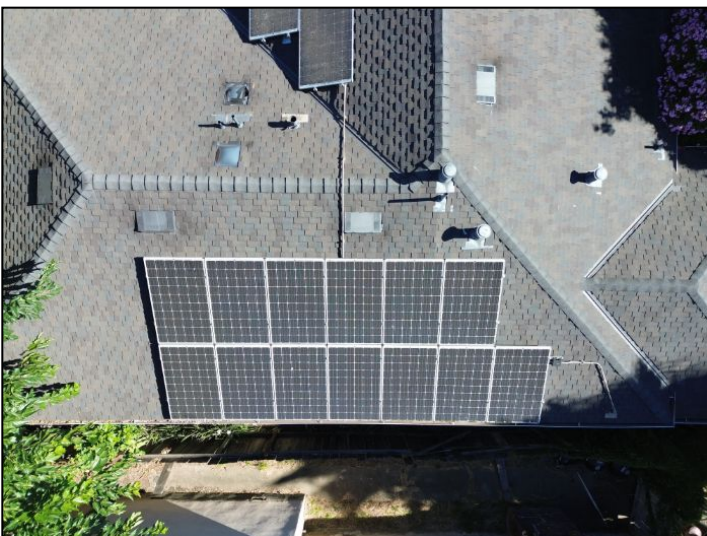


Property Roof (continued)

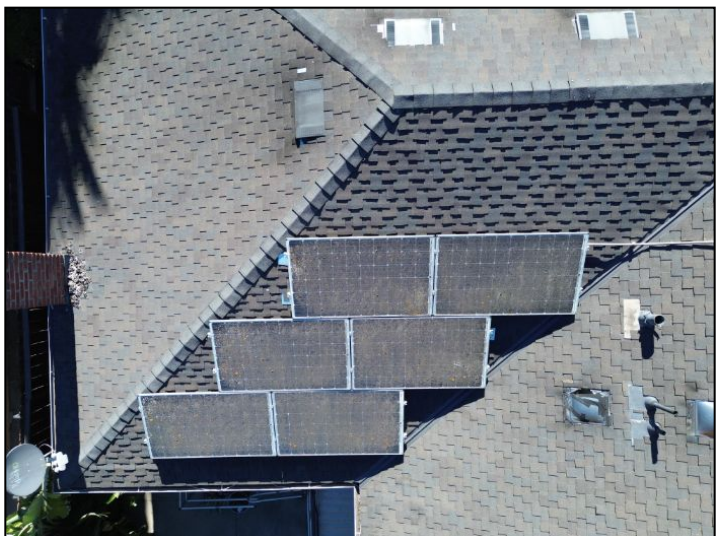
2. Roof Access

Observations:

- The roof covering was inspected from multiple vantage points using an inspection drone, ladders where appropriate, and high-resolution camera zoom capabilities to provide a comprehensive visual evaluation. As a standard practice, walking on the roof is avoided unless deemed necessary, as foot traffic can damage certain roofing materials and may create unsafe conditions for the inspector. This inspection is therefore based primarily on observations made from accessible and safe viewing locations.
- The roof is equipped with photovoltaic (solar) panels, which limit visibility and access to portions of the roof covering beneath and adjacent to the panels. As a result, certain areas of the roofing system could not be fully inspected. This limitation should be considered when evaluating the overall condition of the roof, as concealed deficiencies may exist in areas obstructed by the solar equipment.
- The solar panels were observed to be dirty. Accumulated dirt, dust, pollen, bird droppings, and other debris can reduce the efficiency and energy production of the solar photovoltaic system. Periodic cleaning and routine maintenance, following the manufacturer's recommendations, are advised to help maintain optimal performance.



The roof is equipped with photovoltaic (solar) panels.

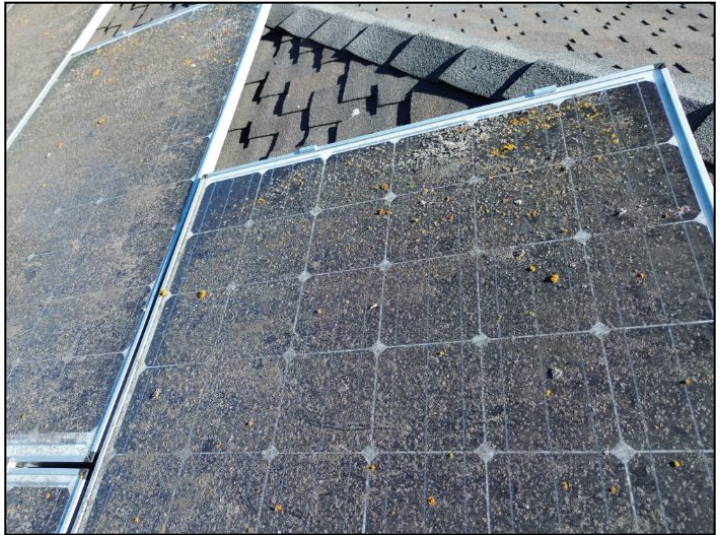


The roof is equipped with photovoltaic (solar) panels.

Property Roof (continued)



The roof is equipped with photovoltaic (solar) panels.



The solar panels were observed to be dirty.

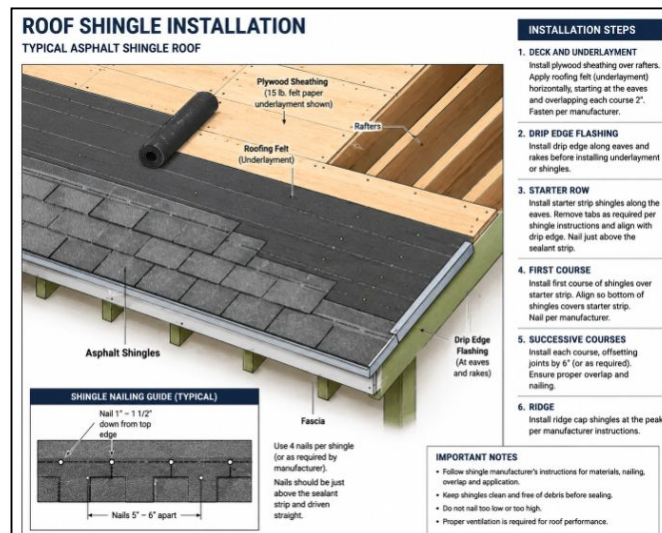
3. Material Type

Materials:

- **SHINGLES:** The residence is equipped with an asphalt shingle roof covering. Asphalt shingles are one of the most common residential roofing materials due to their durability, affordability, and ease of maintenance. The roofing system consists of overlapping shingles designed to shed water and protect the structure from weather-related moisture intrusion.

This type of roofing system is typically a Class A fire-rated assembly when installed in accordance with manufacturer specifications and generally carries a manufacturer's warranty ranging from approximately 30 to 50 years, depending on the product selected. With regular inspections, seasonal cleaning, and routine maintenance, an asphalt shingle roof can often provide reliable, leak-free service for 30 years or more.

The service life of an asphalt shingle roof depends on factors such as material quality, installation methods, ventilation, maintenance, exposure to sunlight, and environmental conditions. Regular inspections and maintenance are recommended to help maximize the performance and longevity of the roofing system.

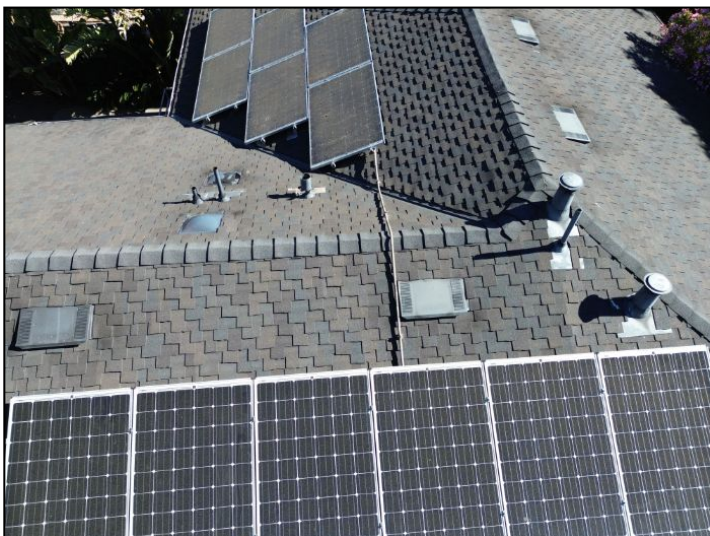
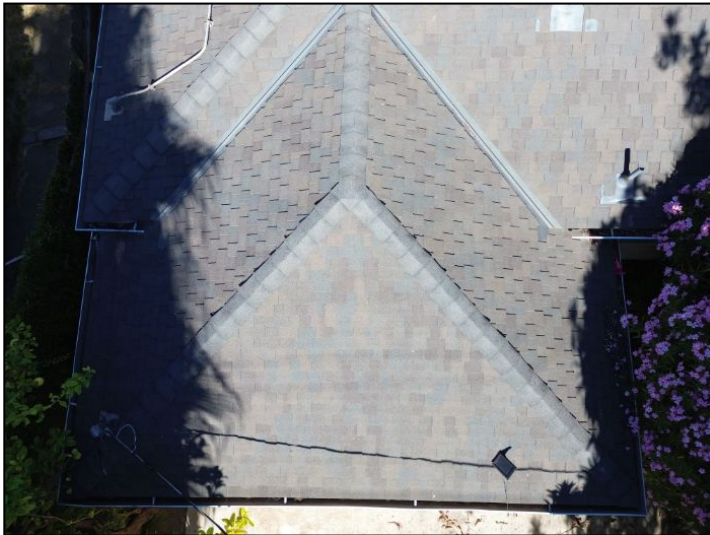


Materials and Condition

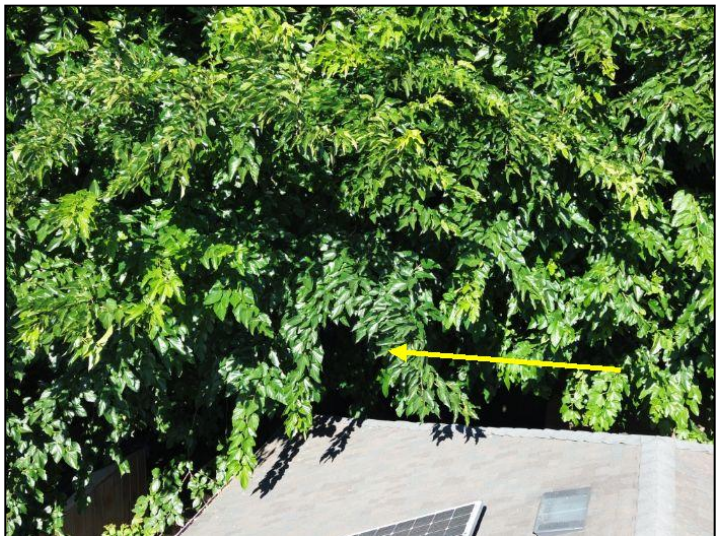
1. Composition Shingle

Observations:

- The premium composition shingle roofing material appeared to be in satisfactory condition relative to its age.
- FOLIAGE NOTED: Foliage was observed growing over or in proximity to the roof. Overhanging vegetation can accelerate roof wear, trap moisture, obstruct drainage, and provide access for pests. Recommend trimming back vegetation to maintain adequate clearance from the roof and help prolong the life of the roofing system.
- DEBRIS ON THE ROOF: Leaves and debris were observed in portions of the roof near the chimney. Accumulated debris can impede proper drainage, trap moisture, and accelerate deterioration of roofing materials. Recommend cleaning the affected areas and maintaining the roof free of debris to help ensure proper roof drainage and prolong the life of the roofing system.



Materials and Condition (continued)



FOLIAGE NOTED: Foliage was observed growing over or in proximity to the roof.

FOLIAGE NOTED: Foliage was observed growing over or in proximity to the roof.

Materials and Condition (continued)



FOLIAGE NOTED: Foliage was observed growing over or in proximity to the roof.



DEBRIS ON THE ROOF: Leaves and debris were observed in portions of the roof near the chimney.

Roof Components

1. Flashings

Observations:

- The visible roof flashing appears to be in satisfactory condition. Flashing is an impervious material (usually galvanized sheet metal) that comes in a variety of shapes and sizes and is used to cover, waterproof, and direct water away from roof penetrations and from intersections between the roof covering and other materials.

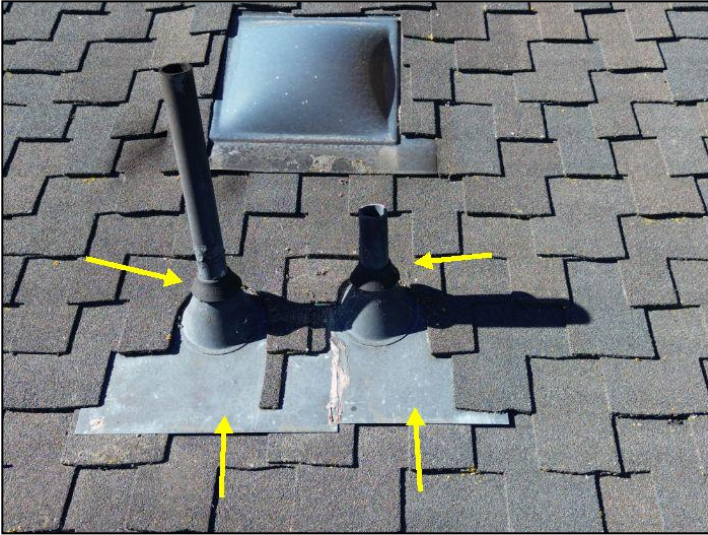


Roof Components (continued)

2. Protrusions

Observations:

- The plumbing vent protrusions appeared to be well sealed, properly flashed and in satisfactory condition.
- The exhaust vent protrusions appeared to be well sealed, properly flashed and in satisfactory condition.
- The electrical mast protrusions appeared to be well sealed, properly flashed and in satisfactory condition.



Roof Components (continued)



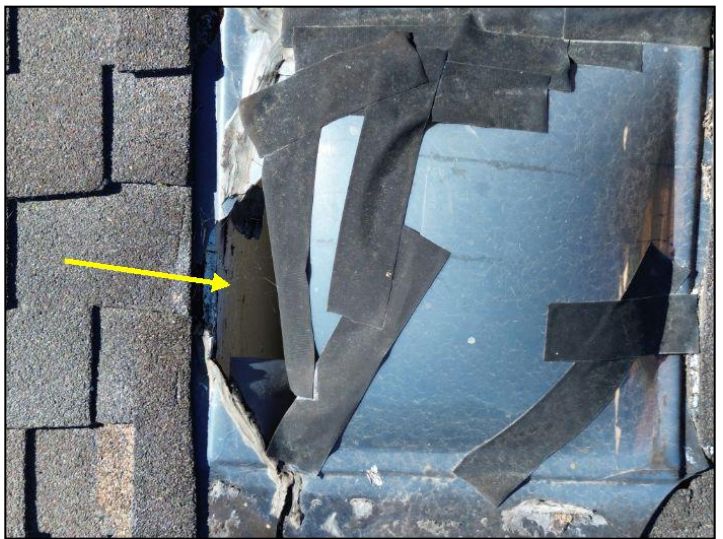
3. Skylights

Observations:

- There is a crack, or multiple cracks, in a skylight that should be addressed by a qualified specialist. Our office can facilitate this service upon request to ensure proper replacement and maintain the integrity and safety of the skylight.
- There is evidence of moisture intrusion at the interior of a skylight. We recommend replacing the skylight before rain season.



There is a crack, or multiple cracks, in a skylight.

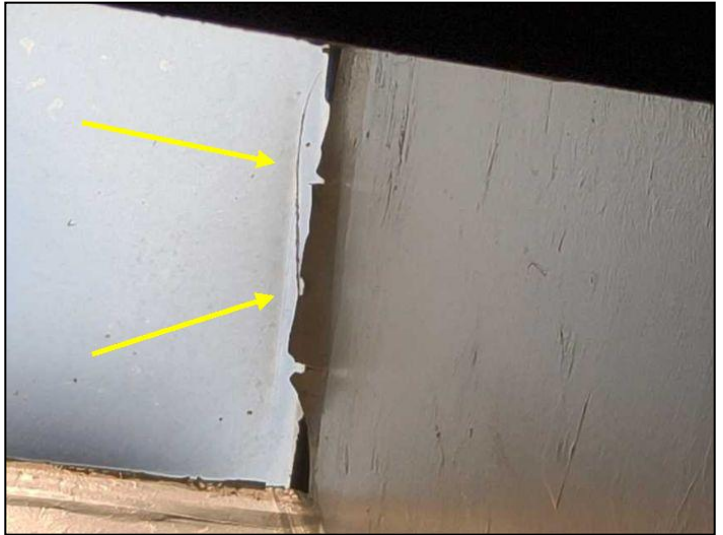


There is a crack, or multiple cracks, in a skylight.

Roof Components (continued)



There is a crack, or multiple cracks, in a skylight that should be addressed by a qualified specialist. Our office can facilitate this service upon request to ensure proper replacement and maintain the integrity and safety of the skylight.



There is a crack, or multiple cracks, in a skylight.



There is a crack, or multiple cracks.



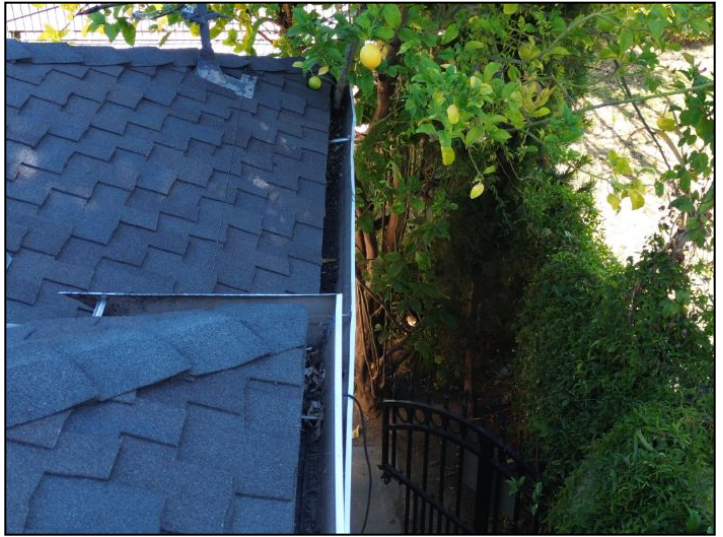
There is evidence of moisture intrusion at the interior of a skylight.

4. Roof Drainage

Observations:

- The majority of the gutters and downspouts appeared to be clear and in satisfactory condition.
- The roof gutters require cleaning to function effectively. Regular maintenance will help ensure proper drainage and prevent water damage to the property.
- Some downspouts are missing or need to be reconnected or serviced. This will divert water away from the residence and its foundation to prevent moisture under the home and reduce the chance of the foundation settling.
- We recommend you have diverters or splash blocks installed at the bottom of all downspouts or have downspouts connect to underground drain lines. This will divert water away from the residence and its foundation to prevent moisture under the home and reduce the chance of the foundation settling.

Roof Components (continued)



Some downspouts are missing or need to be reconnected or serviced.



Some downspouts are missing or need to be reconnected or serviced.

Roof Components (continued)



The roof gutters require cleaning to function effectively.



The roof gutters require cleaning to function effectively.



We recommend you have diverters or splash blocks installed at the bottom of all downspouts.



We recommend you have diverters or splash blocks installed at the bottom of all downspouts.

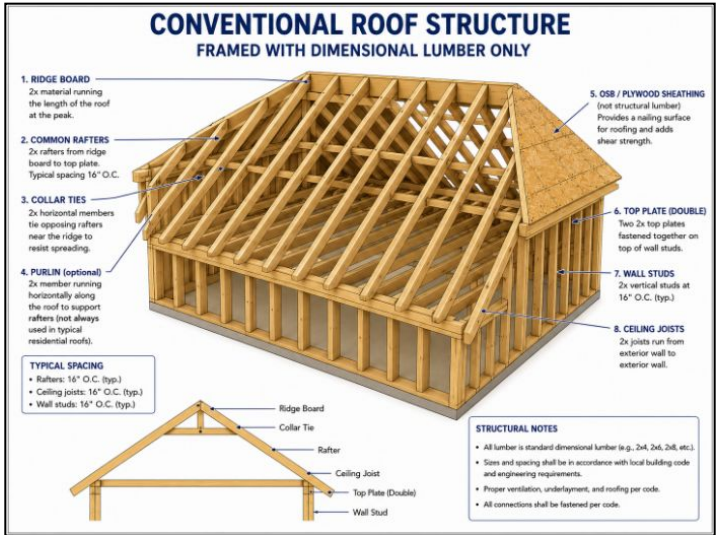
Structure and Framing Type

1. Roof

Structural Type:

- The roof structure appeared to be in functional condition, showing no visible signs of damage or structural concern at the time of inspection.
- LUMBER: The ceiling and roof structure are conventionally framed with standard dimensional lumber. This common framing method provides reliable support and stability. Regular inspections are recommended to ensure the continued integrity of the structural components.
- Portions of the roof structure were concealed by attic insulation. The condition and integrity of the framing and supports could not be fully evaluated. Concealed conditions may exist.

Structure and Framing Type (continued)



Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Access

Observations:

- Bedroom Closet.
- Garage ceiling.

Attic (continued)



2. Insulation Condition

Depth: Insulation averages about 4-6 inches in depth; more recommended.

Observations:

- Insulation appears adequate.

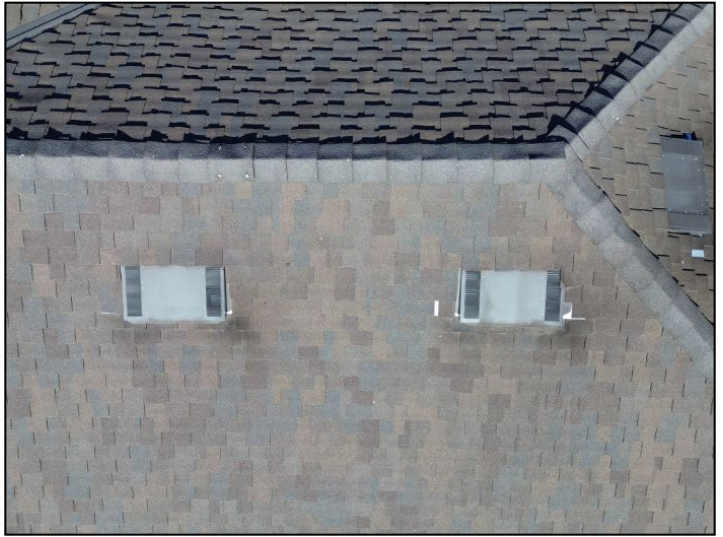


3. Ventilation

Observations:

- Ventilation within the attic appears to be adequate.

Attic (continued)



4. Vent Screens

Observations:

- Vent screens noted as functional.
- Vent screens noted painted over. The screens covering the vent openings were painted over in some areas, which reduces the amount of air flow/circulation through the attic. You may therefore wish to have the screens cleaned or replaced.



Vent screens noted painted over.

5. Interior

Observations:

- Moisture stains were observed on the attic framing and sheathing. The staining near the skylight appeared consistent with an active leak at the time of the inspection. Prompt replacement of the skylight is recommended to help prevent continued moisture intrusion and reduce the potential for further damage to the roof structure and interior finishes. After repairs are completed, the affected attic areas should be monitored to confirm the leak has been successfully corrected.

Attic (continued)



Moisture stains were observed on the attic framing and sheathing.



The staining near the skylight appeared consistent with an active leak at the time of the inspection.

Thank you for choosing TK C & C, Inc. for your roof inspection.

Please feel free to contact me if you have any questions or concerns about this report. I will be happy to review my findings, answer your questions, and discuss any recommendations with you. I am here to help make your real estate transactions as smooth and stress-free as possible.

This report provides a visual assessment of the roof's accessible components and documents the conditions observed at the time of the inspection. Any recommendations included in this report are intended to help you better understand the roof's current condition and identify areas that may require repair, maintenance, further evaluation, or replacement by a qualified roofing contractor.

Upon request, TK Contracting & Consulting, Inc. can also provide an **AI-assisted roof repair and replacement cost estimate**. This optional estimate is prepared using the inspection findings, typical material costs, and prevailing contractor labor rates for Northern California. It is intended solely for preliminary budgeting and negotiation purposes and **is not a contractor's proposal, bid, warranty, or guarantee of final costs**. Actual pricing may vary based on site conditions, material selections, permitting requirements, contractor availability, and conditions that were not visible during the inspection. **We recommend obtaining written estimates from qualified roofing contractors before proceeding with any work.**

Thank you for allowing us to assist you with your property inspection needs.

TK Contracting & Consulting, Inc.

Professional Roof Inspection Services



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TK CONTRACTING & CONSULTING INC.

____ Tina Kirkpatrick ____



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